

#### **OPEN MEETING**

### REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Monday, October 28, 2019 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road

#### **NOTICE AND AGENDA**

- 1. Call to Order
- Acknowledgement of Media
- 3. Approval of the August 26, 2019 Report
- 4. Approval of the Agenda
- 5. Chair Remarks
- 6. Member Comments (Items Not on the Agenda)
- 7. Division Manager Update

#### Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

#### Items for Discussion and Consideration:

#### Variance Requests:

8. 5598-A (Casa Palma, 10R) Extend Entryway onto Exclusive Use Common Area and Replace Planter with Concrete Slab on Previously Extended Common Area

#### Standards Discussion Items:

9. Standard 28: Soft Water

10. Standard 42: Ramps

#### Reports

11. Status of Mutual Consents

#### Future Agenda Items:

Standard 22: Patio & Balcony Covers; Aluminum & Vinyl

New building material information (on-going)

#### **Concluding Business:**

- 12. Committee Member Comments
- 13. Date of next meeting November 25, 2019
- 14. Adjourn



#### **OPEN MEETING**

# REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Monday, August 26, 2019 – 9:30 a.m. Laguna Woods Village Community Center Sycamore Room 24351 El Toro Road

#### **REPORT**

**COMMITTEE MEMBERS PRESENT:** Acting Chair Roy Bruninghaus, Reza Karimi, John Frankel, Lynn Jarrett

**COMMITTEE MEMBERS ABSENT:** Chair Steve Parsons

OTHERS PRESENT:

ADVISORS PRESENT: Mike Butler, Mike Plean

STAFF PRESENT: Brett Crane, Alisa Rocha, Gavin Fogg

1. Call to Order

Acting Chair Bruninghaus called the meeting to order at 9:31 a.m.

#### 2. Acknowledgement of Media

No media present.

#### 3. Approval of July 22, 2019 Report

Director Karimi moved to accept the report. Director Jarrett seconded. The committee had no objection.

#### 4. Approval of the Agenda

Director Karimi moved to accept the agenda. Director Jarrett seconded. The committee had no objection.

#### 5. Committee Chair Remarks

None.

#### 6. Member Comments - (Items Not on the Agenda)

Susan Smallwood (3456-B) expressed safety concerns with the location of electrical panels and the unsteady grounds in the back of her unit. She suggested cement pads and covers for the electrical panels.

Lynne Corboz (3505-C) questioned why Standard 22: Patio and Balcony Covers, Aluminum and Vinyl was not the agenda since it was tabled at the last Board Meeting. Acting Director Bruninghaus commented that Chair Parson's is researching the issue. Mr. Crane pointed out that he responded to Ms. Corboz's email addressing her concerns during the Board Meeting and Ms. Corboz stated she has not checked her email.

Rhoda Harris (3455-A) voiced concerns about modifications to 3456-B that might further obstruct her view.

#### 7. Department Head Update

Mr. Crane commented on the in depth review of Standard 22: Patio and Balcony Covers, Aluminum and Vinyl, that will be taking place.

Mr. Crane also mentioned five more standards remain to be revised but since they do require collaboration from other departments, they are taking longer than expected.

#### Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

None.

Items for Discussion and Consideration:

#### Variance Requests:

8. 3456-B (Andaluz, P43) – Raise Living/Dining Room and Bedroom Ceiling above Existing Structural Members and Replace Roofing Materials to Accommodate Solar Panel Installations

Director Karimi made a motion to accept Staff's recommendation and approve this request. Director Jarrett seconded. The committee was in unanimous support.

#### Reports

#### 9. Status of Mutual Consents

Mr. Fogg reviewed this report with the committee.

Committee expressed the importance of accurate information regarding open cases. Advisor Butler pointed out the necessity of an aging report, which requires discreet dates in which things happen. The problem seems to be the quality of the data. Mr. Crane stated that Mr. Holland in MIS does provide age reports, but there are multiple variables at play that filter inaccurate information.

#### Future Agenda Item

Update on Standard 22: Patio and Balcony Covers, Aluminum and Vinyl.

#### **Concluding Business:**

#### 10. Committee Member Comments

Director Karimi questioned how many open Mutual Consent cases currently exist that fall under the use of common area policy that passed last year. Mr. Fogg will obtain some additional information to present at the next committee meeting.

- 11. Date of next meeting Monday, September 23, 2019
- 12. Adjourned at 10:17 am.

Acting Chair, Roy Bruninghaus Brett Crane, Staff Officer

Alisa Rocha, Alterations Coordinator, 268-2301



#### STAFF REPORT

**DATE:** October 28, 2019

FOR: Architectural Control and Standards Committee

**SUBJECT: Variance Request** 

Mr. Douglas Ferraro of 5598-A (Casa Palma, 10R)

Request to Extend Entryway onto Exclusive Use Common Area and to Replace Planter with Concrete Slab on Previously Extended Common Area

#### **RECOMMENDATION**

Staff recommends the Board approve the request to extend the entry way onto Exclusive Use Common Area with the conditions 2-28 stated in Appendix A, and deny the request to replace the planter with concrete slab. Should the Board approve the request to replace the planter with concrete, staff recommends it be with the additional condition #1 as stated in Appendix A.

#### **BACKGROUND**

Mr. Ferraro of 5598-A Vista Del Mando, a Casa Palma style unit, is requesting Board approval of a variance to extend the existing entryway onto exclusive use common area by constructing a new wall and relocating the existing door 8' into the entry way (see Attachments 1 and 2).

Mr. Ferraro has also requested to remove the existing stucco wall, block wall and an alteration planter on the rear of the unit. A new concrete slab with tile would replace the existing planter to extend the existing patio. Staff is recommending denying this portion of the request due to a section of the proposed work being conducted on common area.

The cost of the proposed alteration would be borne by the Member.

#### **DISCUSSION**

Mr. Ferraro is proposing to move the existing 6'-0" wide by 8'-0" tall double entry doors forward by 8' to extend his entryway. This proposal would take place under the existing roof and would not require any new roof tie-in. The existing skylight will allow for natural light in the covered entryway. According to the condominium plan for the unit the entryway is exclusive use common area.

Stamped structural drawings will be required as a Condition of Approval along with the requirement to obtain a City of Laguna Woods permit to ensure code compliance and that structural integrity requirements are met. Detailed architectural drawings along with a City permit that would ensure Title 24 is met will be required for Mutual approval of any and all proposals considered. A City of Laguna Woods building permit final would verify compliance with all applicable building codes.

Extending the entry way of a Casa Palma unit has been previously approved at 5559-A in 2008 and in Villa Paraisa style floor plans has been previously approved for Units 5232 in December 2012, 5152 in January 2015, 5293 in September 2015, 5106 in April 2016, 5269 in June 2016, 5212 in December 2017 and 5098 in April 2018. Mr. Ferraro is also requesting to

remove the existing original planter along with an alteration planter (installed with Mutual Consent in 2012) and to replace it with a concrete slab to allow for tiling the area to match the rest of the rear patio. The area is approx. 11'9" wide and 6-6" long located behind the master bathroom; see site plan for clarification (see Attachment 1). The proposed area is enclosed with a block wall with wrought iron fence (see Attachment 3) and has no direct access from other common area locations.

Staff recommends denial of this request in conjunction with current Third Mutual's Common Area Use Policy (RESOLUTION 03-18-146) "BE IT RESOLVED FURTHER, that no further alteration may be approved or constructed on any previously approved or "grandfathered" alteration that encroaches upon common area, other than like for like, that augments, enlarges, or changes the construction, purpose, or use of the previously approved or grandfathered alteration."

Neighbor Awareness Notices were sent to affected Units 5597-B and 5598-B on October 9, 2019; as of the writing of this report, no responses were received.

At the time of preparing this report, there is one open Mutual Consent for demolition in the kitchen and bathroom as part of a kitchen remodel and a solar tube in the bathroom.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 5598-A.

Prepared By: Gavin Fogg, Inspections Supervisor

**Reviewed By:** Brett Crane, Permits, Inspections & Restoration Manager

Alisa Rocha, Alterations Coordinator

#### ATTACHMENT(S)

Appendix A: Conditions of Approval Appendix B: Condo/Foundation Plan

Appendix C: Existing Plan
Attachment 1: Site Plan

Attachment 2: Variance Request, July 30, 2019

Attachment 3: Photos
Attachment 4: Map

#### APPENDIX A

#### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

- 1. Patio Slab installation must follow Mutual Standard 21: Patio Slabs.
- 2. No improvement shall be installed, constructed, modified or altered at unit **5598-A**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- 3. A Variance for Unit Alterations has been granted at **5598-A** for **Entry Way Extension on Exclusive Use Common Area and replacing planters with Concrete Slab,** subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
- 4. Prior to the issuance of a Mutual Consent for Unit Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 5598-A and all future Mutual members at 5598-A.
- 6. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- 7. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- 8. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Covenant to Run with the Land" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Unit Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

- 9. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Unit Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- 10. Prior to the issuance of a Mutual Consent for Unit Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
- 11. Prior to the issuance of a Mutual Consent for Unit Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
- 12. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- 13. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
- 14. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
- 15. Member is responsible for following the gate clearance process in place to admit contractors and other invitees.
- 16. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of Agenda Item #8 Page 4 of 25

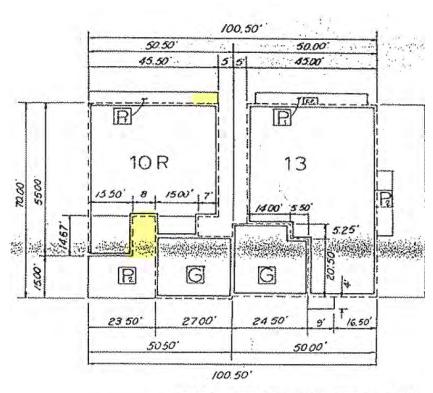
- \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
- 17. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
- 18. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
- 19. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
- 20. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See http://www.lagunawoodsvillage.com.
- 21. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- 22. During construction, both the Mutual Consent for Unit Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- 23. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- 24. A dumpster is approved for placement at the location identified by Security Staff by calling

949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.

- 25. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- 26. The Mutual Consent for Unit Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- 27. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- 28. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amountsand liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

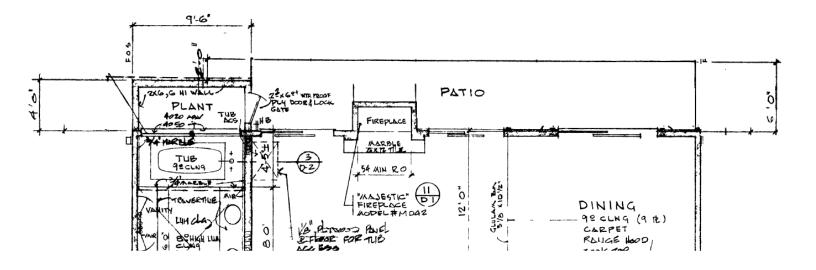
#### **APPENDIX B**

#### **Condominium Plan**

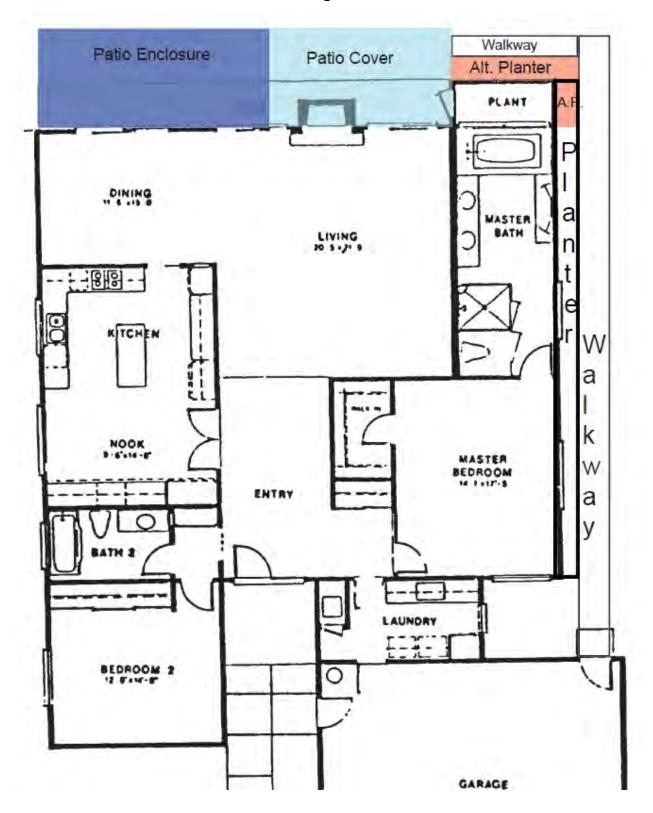


TYPICAL FOR BUILDINGS 5595 , 5598,

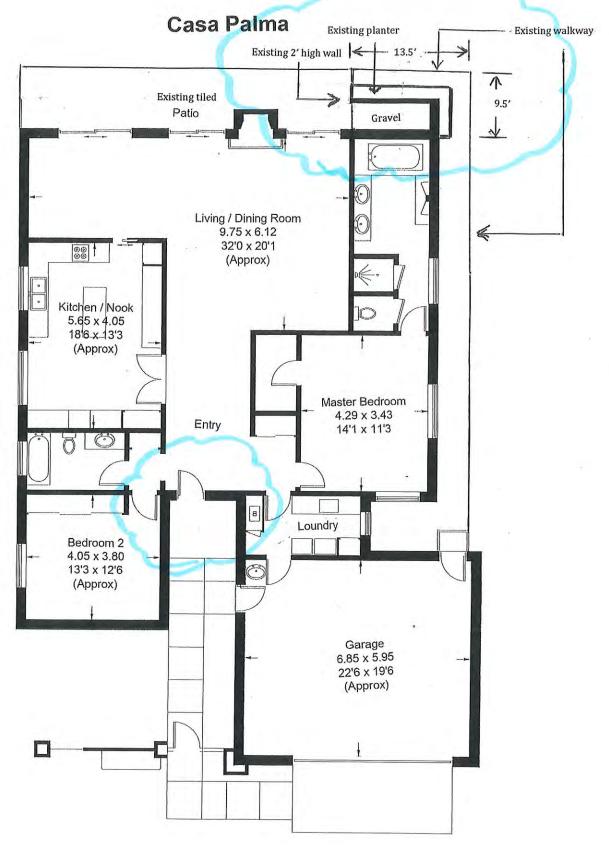
#### **Foundation Plan**



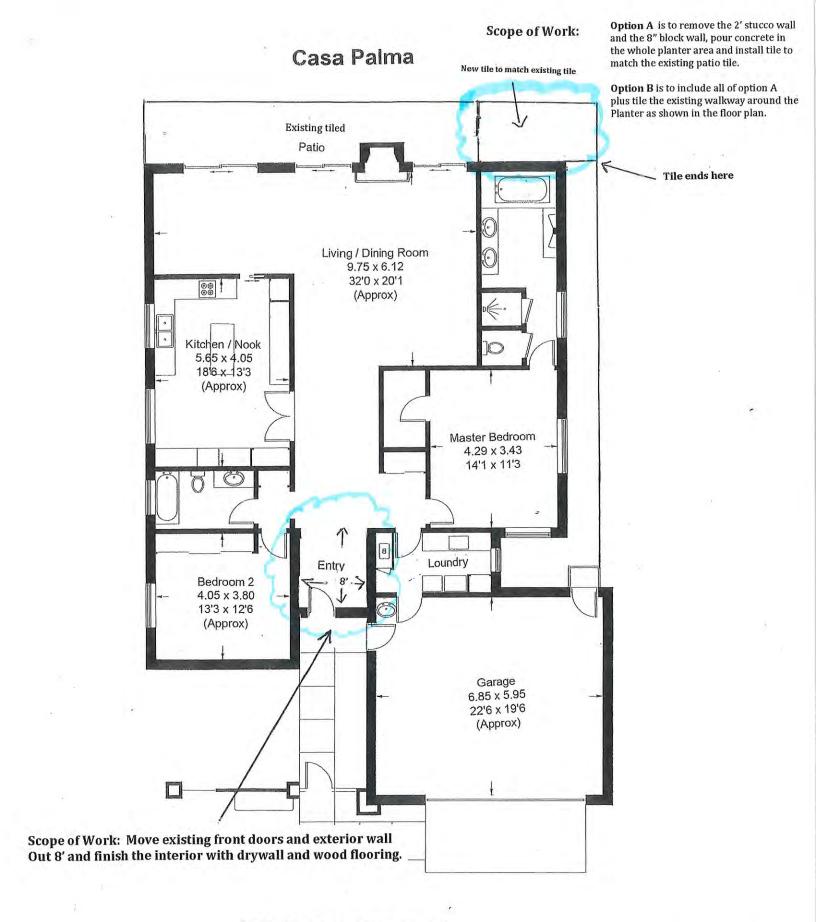
APPENDIX C
Existing Plan



#### Attachment:1

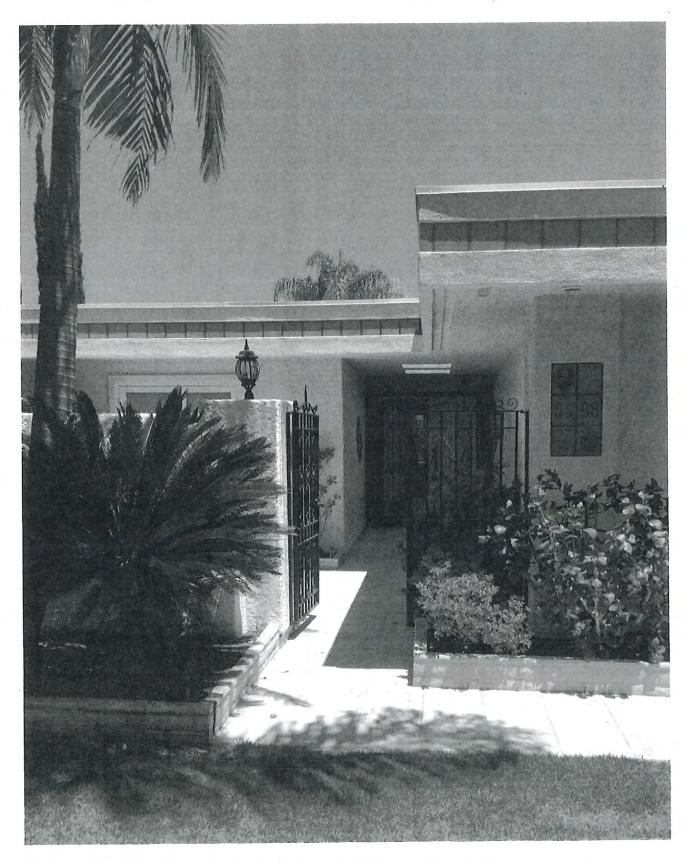


FERRARO PROJECT 5598-A Vista Del Mando Existing Floor Plan



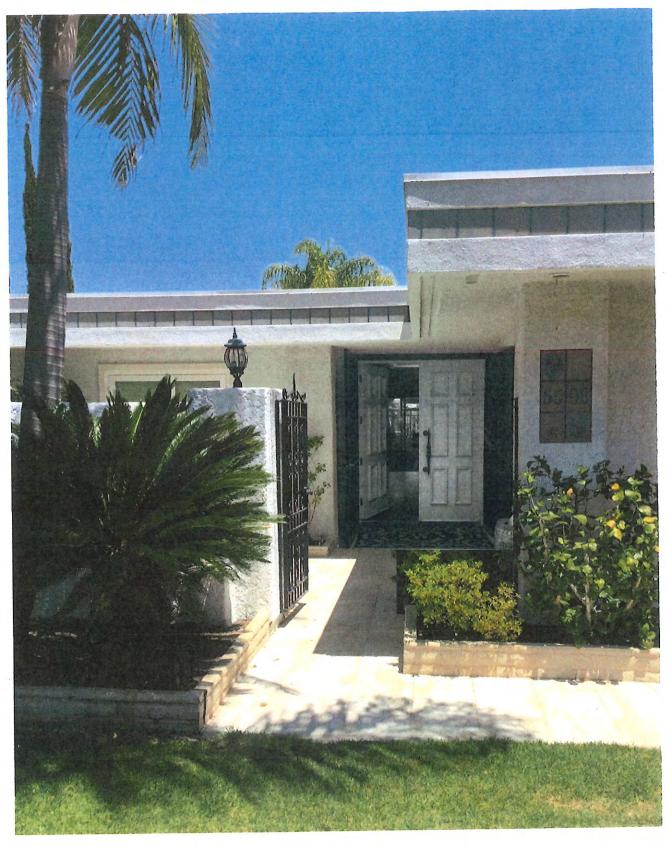
FERRARO PROJECT 5598-A Vista Del Mando Proposed Floor Plan

# **Existing Front Elevation 5598-A**



Agenda Item #8 Page 11 of 25

# **Proposed Front Elevation 5598-A**



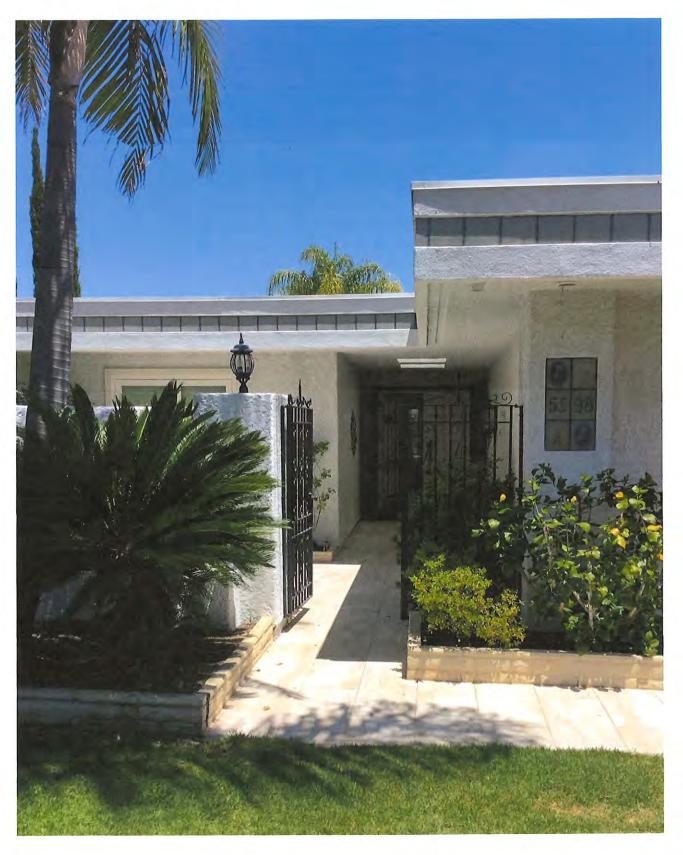
Agenda Item #8 Page 12 of 25



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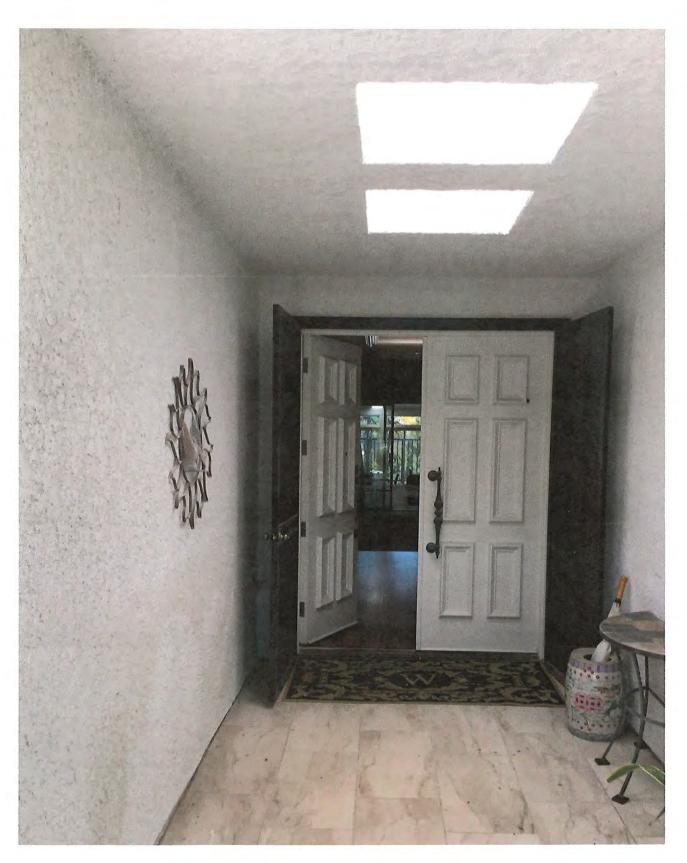
Attachment: 2 MANOR # 5598 -A Laguna Woods Village. TLHM ULWM Variance Request Form SA 21404762 Palma usa Member Name: Signature lous las Contractor Name/Co: West Coast Ramodel Inc Phone: E-mail: Mailing Address: (to be used for official Del Mando correspondence) Description of Proposed Variance Request ONLY: Extend the existing front doors 8 further out to give the house a larger entry. 2) Remove existing planter outside of the moster bathroom window and pour concrete between the extensi wall and the existing walkney. Dimensions of Proposed Variance Alterations ONLY: D8 wide X8 Depth & 9 high @ 14' wide x 7' Depth ... FOR OFFICE USE ONLY DATE RECEIVED: 7/30/19 Check# 78334 BY: 01 RECEIVED BY: Alteration Variance Request Complete Submittal Cut Off Date: Meetings Scheduled: Check Items Received: Third AC&S Committee (TACSC): Aug 26 2019 Drawing of Existing Floor Plan ---- Drawing of Proposed Variance United M&C Committee: \_ Dimensions of Proposed Variance Board Meeting: Sept 17 2019 Before and After Pictures □ Approved □ Denied □ Other: \_\_\_\_\_ □ Tabled Agenda Item #8 Page 14 of 25

From: Richard Smith
Subject: 5598-A
Date: July 25, 2019 at 10:37 AM
To:



Agenda Item #8 Page 15 of 25

From: Richard Smith
Subject: Front door
Date: July 25, 2019 at 10:37 AM
To:



Agenda Item #8 Page 16 of 25

From: Richard Smith
Subject: Same
Date: July 25, 2019 at 10:38 AM
To:



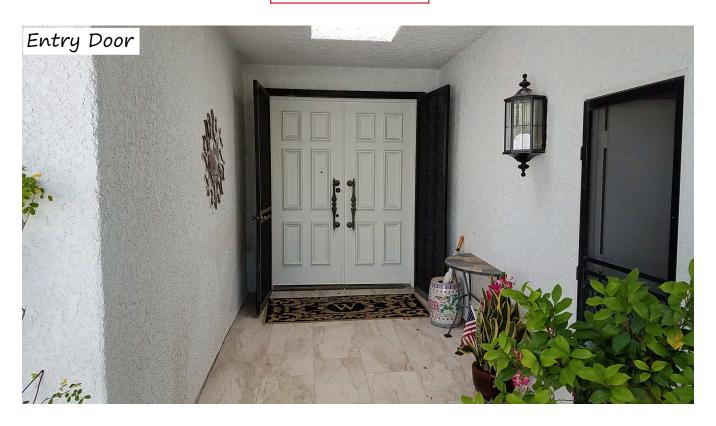
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From: Richard Smith
Subject: Planter
Date: July 25, 2019 at 10:38 AM
To:



Sent from my iPad

# Attachment: 3







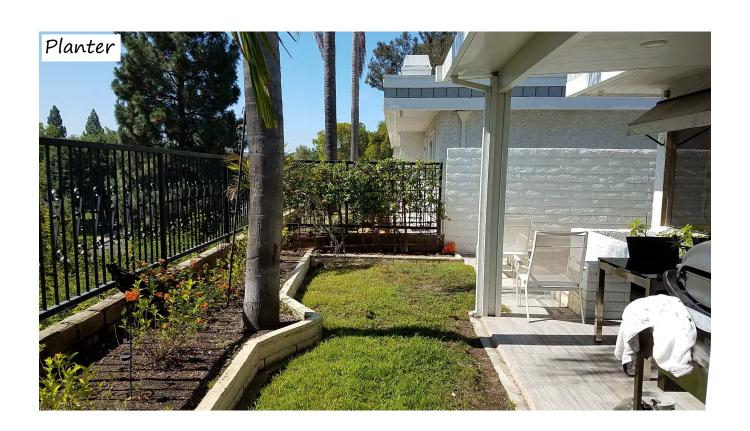












## Attachment: 4









#### **STANDARDSECTION** 28: SOFT WATER UNITS

JANUARY 1982
REVISED APRIL 1996, RESOLUTION M3-96-28
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED OCTOBER 2019, RESOLUTION 03-19-XX

#### 1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

#### 2.0 **INSTALLATIONS**

- **2.1** All installations <u>will be require</u> approvaled by the Permits and Inspection office prior to commencing the work.
- 2.2 Tanks will-may be located in a garage, water heater cabinet, or outside of unit as approved by the Permits and Inspection Oeffice.
- 2.3 Exposed exterior installations must be enclosed require n a 5/83/8"

  CDXthick plywood cabinet to be built, textured (to match exterior wall) or paneled and painted (inside and out) to match the color of the building, and installed over softener tanks. All exposed plumbing shall be painted color of the surface to which attached.
- **2.4** Pipe runs shall be kept to a minimum.
- 2.5 Softener tanks may be located below grade. Relocation or modification of main sewer lines is prohibited. Relocation of irrigation lines and plantings may be completed as a chargeable services to the Mutual Member. Isolation valves for emergency shut-off will be required.
- **2.6** Soft water units shall be connected directly to the service line of the manor owner/owners' name that appears on the permit.
- 2.7 No regenerative-type softeners will be allowed as per all applicable laws.
- 2.8 Approval of landscape installation to conceal the soft water unit cabinets will be required.



#### **STANDARD 42: RAMPS**

# ADOPTED APRIL 2008, RESOLUTION 03-08-31 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 REVISED OCTOBER 2019, RESOLUTION 03-19-XX

#### 1.0 GENERAL REQUIREMENTS

See Standard Section 1: General Requirements

#### 2.0 DEFINITIONS

- **2.1. Pedestrian ramp** is a sloping accessible route intended for pedestrian traffic to and from a <u>unitmanor</u>.
- **2.2. Slope** is the relative steepness of the land between two points and is calculated as follows: Slope is the horizontal distance and elevation change between the two points. The difference in elevation is divided by the distance and the resulting fraction is multiplied by 100 to obtain the percentage of slope.
- **2.3. Cross slope** is the slope that is perpendicular to the direction of travel.
- **2.4.** Level area is a specified surface that does not have a slope in any direction exceeding ¼ inch (6.4 mm) in 1 foot (305 mm) from the horizontal (2.083 gradient).

#### 3. SPECIFICATIONS

**3.1. Materials** Concrete and/or block with a minimum 3.5 inches pour; and heavy broom-swept finish on the surface.

#### 3.2. Exterior ramps

- **3.2.1. Width.** The clear width of ramps shall in no case be less than <u>48</u>36 inches. (914mm). -Handrails, curbs, wheel guides and /or appurtenances shall not project into the required clear width of a ramp.
- **3.2.2. Slope.** The maximum slope of ramps shall be no greater than 1 unit vertical in 12 units horizontal (8.33 percent slope). Transitions from ramps to walks, gutters or streets shall be flush and free of abrupt changes.



- 3.2.3. Changes in level not exceeding ½ inch. Abrupt changes in level along any ramp shall not exceed ½ inch (12.7mm). When changes in level do occur they shall be beveled with a slope no greater than 1 unit vertical in 2 unit horizontal (50 percent slope). Changes in level not exceeding ¼ inch (6.35 mm) may be vertical.
- **3.2.4.** Changes in level exceeding ½ inch (12.7 mm) shall be by means of a sloped surface not greater than 1 unit vertical in 20 units horizontal (5 percent slope).
- **3.2.5. Cross slope.** The cross slope of ramp surfaces shall be no greater than ¼ inch (6.35 mm) per foot (2.083-percent slope).
- **3.2.6. Ramps**, ramp landings and their approaches shall be designed so that water will not accumulate on the walking surface.

#### 3.3. Exterior landings

- 3.3.1. Level. Ramp landings shall be level as defined.
- **3.3.2. Height relative to door.** The top landing shall not be more than ½ inch (12.7 mm) lower than the top of the threshold of the doorway. (See Figure 1).
- **3.3.3. Location of landings**. Landings shall be provided at the top and bottom of each ramp. Intermediate landings shall be provided at intervals not exceeding 30 inches (762 mm) of vertical rise. Landings are not considered in determining the maximum horizontal distance of each ramp.
- **3.3.4. Size of top landings.** Top landings shall not be less than 60 inches (1524 mm) wide. Top landings shall have a minimum length of not less than 60 inches (1524 mm) in the direction of the ramp run (5 feet x 5 feet). (See Figure 2).
- **3.3.5. Size of intermediate landings.** The width of intermediate landings shall not be less than the clear width of the ramp, and shall not be less than 60 inches (1524 mm) in length (See Figure 2).
- **3.3.6. Size of intermediate turning landings.** The width of intermediate turning landings shall not be less than the clear width of the ramp, and shall not be less than 60 inches (1524 mm) in length (*See Figure 2*).
- **3.3.7. Size of bottom landings**. The width of bottom landings shall not be less than the clear width of the ramp, and shall not be less than 7260 inches (1524 mm) in length (See Figure 2).
- 3.3.8. Encroachment of doors. Doors in any position shall not reduce the minimum dimension of the landing to less than 42 inches (1067 mm) and shall not reduce the required width by more than 3 inches (76.2 mm) when fully open. That is, the length of the landing shall equal or exceed the width of the door plus 42 inches (See Figure 3).



- **3.4.1. General.** Landings at exit doors shall have a length in the direction of the door swing of at least 60 inches (1524 mm) and a length opposite the direction of the door swing of at least 44 inches (1118 mm) measured at right angles to the plane of the door in its closed position.
- **3.4.2. Strike edge maneuvering space.** The width of the level area on the side to which the door swings shall extend at least 24 inches (610 mm) past the strike edge of the door. **Note**: 24 inches (610 mm) is preferred.
- **3.4.3. Front approach.** The following provisions shall apply to swinging doors with front approach:
  - **3.4.3.1. Pull side** For pull side approach the landing shall extend in the direction of the door swing at least 60 inches (1524 mm). (See Figure 4).
  - **3.4.3.2. Push side** For push side approach, the landing shall extend in the direction of the door swing at least 60 inches (1524 mm). (See Figure 4).
  - **3.4.3.3. Push side with closer and latch** Doors with push side approach having both a closer and a latch shall be provided with a clear and level area extending a minimum of 12 inches (305 mm) past the strike edge on the approach side of the door. (See Figure 4).
- **3.4.4. Hinge side approach**. The following provisions shall apply to swinging doors with hinge side approach:
  - **3.4.4.1. Pull side** Doors with pull side approach shall be provided with a level landing not less than 60 inches (1524 mm) in depth. A clear and level area shall extend a minimum of 36 inches (914 mm) past the strike edge on the approach side of the door. (See Figure 5). Exception. Doors with pull side approach and a level landing greater than 60 inches (1524 mm) in depth shall be provided with a clear and level area at least 24 inches (610 mm) past the strike edge of the door.
  - 3.4.4.2. Push side Doors with push side approach shall have a level landing not less than 44 inches (1118 mm) in depth, and shall be provided with a clear and level area extending a minimum of 54 inches (1372 mm) from the strike edge of the door jamb past the hinge side of the door. Doors with a latch and closer shall have a level landing not less than 48 inches (1219 mm) depth at the push side of the door. (See Figure 5).
- **3.4.5.** Latch side approach. The following provisions shall apply to swinging doors with latch side approach:
  - **3.4.5.1. Pull side** Doors with pull side approach shall have a level landing not less than 60 inches (1524 mm) in depth, and shall be provided with a clear and level area extending a



- minimum of 24 inches (610 mm) past the strike edge on the approach side of the door. (See Figure 6).
- 3.4.5.2. Push side Doors with push side approach shall have a level floor or landing not less than 44 inches (1118 mm) in depth, and shall be provided with a clear and level area extending a minimum of 24 inches (610 mm) past the strike edge on the approach side of the door. Doors with a closer shall have a level floor or landing not less than 48 inches (1219 mm) depth at the push side of the door. (See Figure 6).

#### 3.5. Handrails

- **3.5.1.** Ramp height. Ramps more than 30 inches (762 mm) above the adjacent floor or ground and open on one or both sides shall be provided with handrails.
- **3.5.2.** Where required. Handrails shall be provided at each side of ramps when the slope exceeds 1 unit vertical in 20 units vertical (5 % slope). Handrails on all ramps shall be continuous. **Exception**: Ramps that serve an individual dwelling unit may have one handrail, except that ramps open on one or both sides shall have handrails provided on the open side or sides.
- **3.5.3. Handrail height**. The top of handrails shall be 34 to 38 inches (864 to 965 mm) above the ramp surface.
- **3.5.4.** Handrail ends. Handrail ends shall be returned.
- **3.5.5.** Handrail extension. Handrails shall extend a minimum of 12 inches (305 mm) beyond the top and bottom of the ramp. Where the extension creates a hazard, the termination of the extension shall be rounded or returned smoothly to the floor, wall or post. (See Figure 7).
- 3.5.6. Handrail projections. Handrails projecting from a wall shall have a space of 1-1/2 inches (38.1 mm) between the wall and the handrail. Handrails shall not reduce the required minimum clear width of the ramps. Handrails may be located in a recess if the recess is a maximum of 3 inches (76.2 mm) deep and extends at least 18 inches (457 mm) above the top of the rail. Any wall or other surface adjacent to the handrail shall be free of sharp or abrasive elements.
- **3.5.7. Handrail grips**. The handgrip portion of handrails shall not be less than 1½ inches (31.75 mm) nor more than 2 inches (50.8 mm) in cross-sectional dimension or the shape shall provide an equivalent gripping surface. The handgrip portion of handrails shall have a minimum radius of 1/8 inch (3.17 mm). Handrails shall not rotate within their fittings. (See Figure 8).

#### 3.6. Curbs and wheel guides.



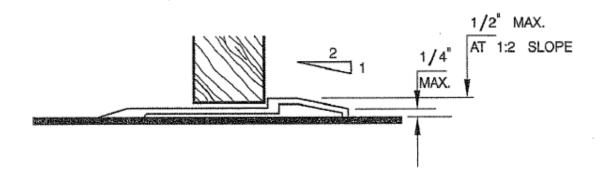
- **3.6.1. Application** Ramps exceeding 10 feet (3048 mm) in length and ramp landings having a vertical drop exceeding 4 inches (101.6 mm), shall be provided with one of the following:
- **3.6.2. Specifications** Guide curbs a minimum of 2 inches (50.8 mm), in height at each side; or wheel guide rails at each side, centered 2 to 4 inches (50.8 to 101.6 mm) above the surface of the ramp, or ramp landing. (See Figure 7).
- **3.6.3. Exception:** Ramps or ramp landings bounded by a wall or fence.

#### 3.7. Hazards on accessible routes

- **3.7.1. Headroom clearance**. Ramps that are a part of a dwelling's primary egress system shall have a minimum clear headroom of 84 inches (2134 mm).
- **3.7.2. Exception:** Doorways and archways less than 24 inches (610mm) in depth may have a minimum clear headroom of 80 inches (2032 mm).
- **3.7.3. Overhanging obstructions**. Any obstruction that overhangs a ramp shall be a minimum of 84 inches (2032 mm) above the walking surface as measured from the bottom of the obstruction. (See Figure 9).



#### 3.8. Figures

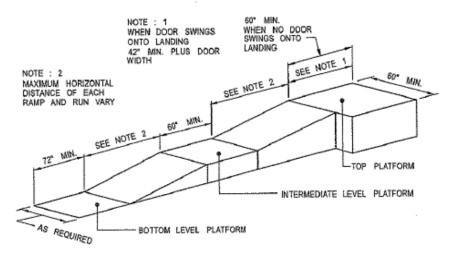


THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

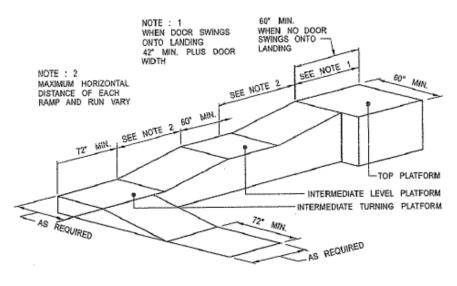
Figure 1

Thresholds





( a ) STRAIGHT RAMP RUN



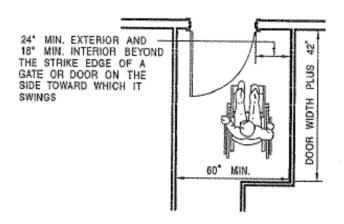
(b) RAMP WITH TURNING PLATFORM

THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

Figure 2

Ramp Dimensions





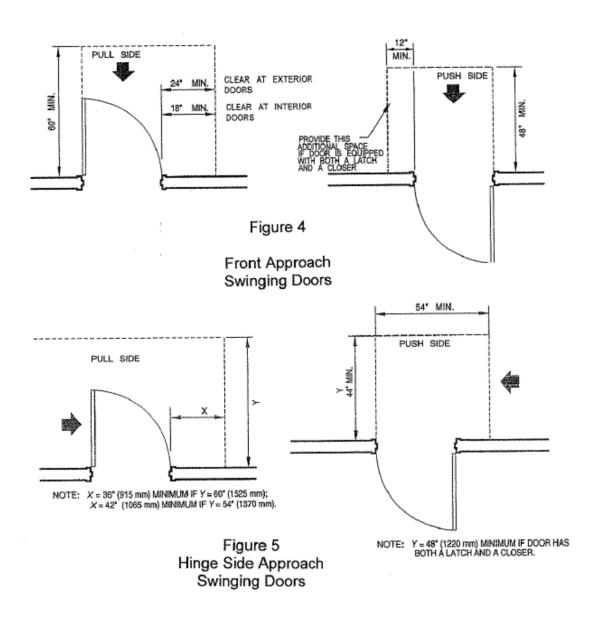
(b) RAMP LANDING AT DOORWAY

THESE DIAGRAMS LLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

Figure 3

Ramp Landing and Doorway





THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

LEVEL MANEUVERING CLEARANCE AT DOORS



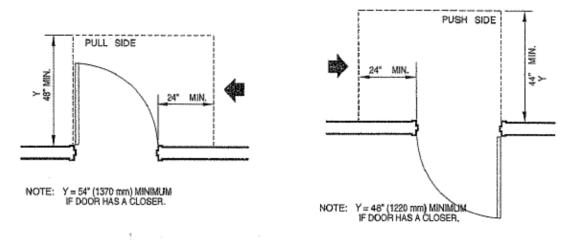
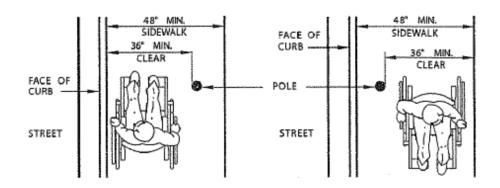
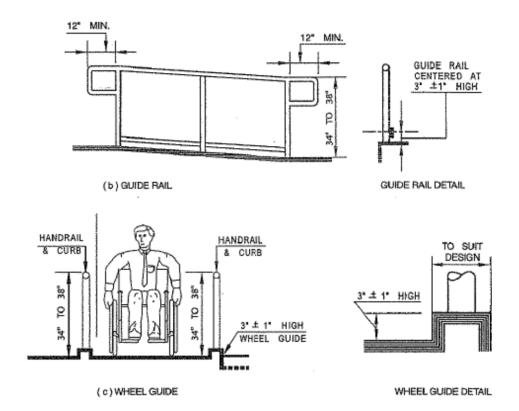


Figure 6 Latch Side Approach Swinging Doors





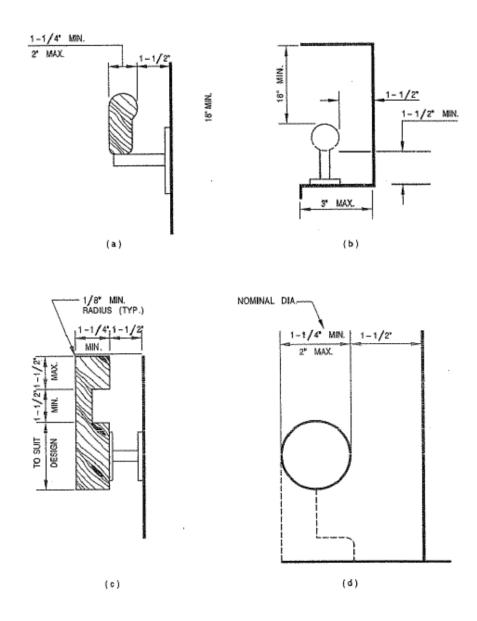
#### (a) SIDEWALK OBSTRUCTIONS



THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

Figure 7
Ramps and Sidewalks



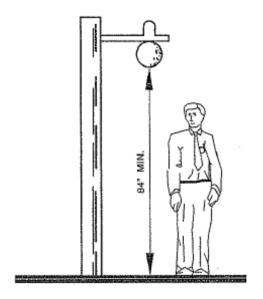


THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION,

Figure 8

Handrails



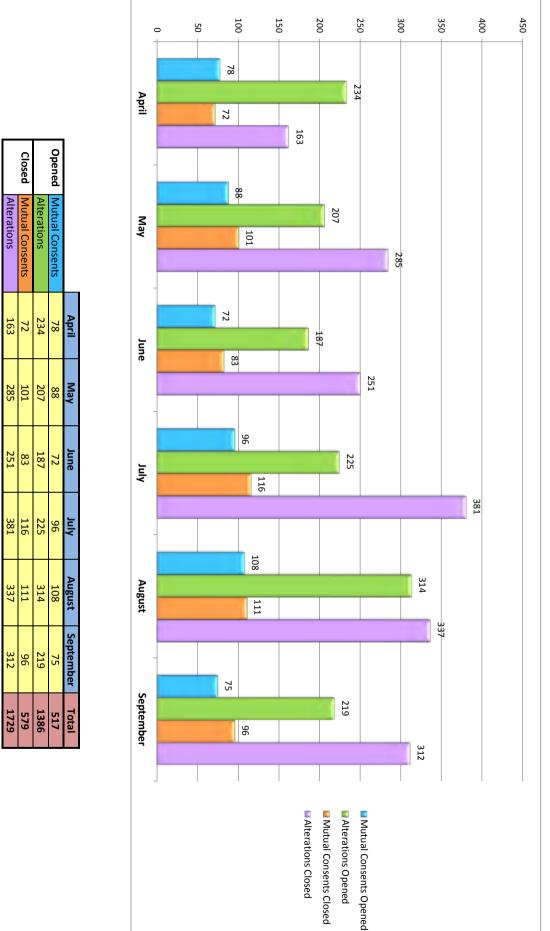


THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

Figure 9
Overhanging Obstruction

# **Permits and Alterations Division Mutual Consents Report**

# **Third Mutual**



\* One Mutual Consent may contain multiple individual Alterations

Agenda Item #11 Page 1 of 1